



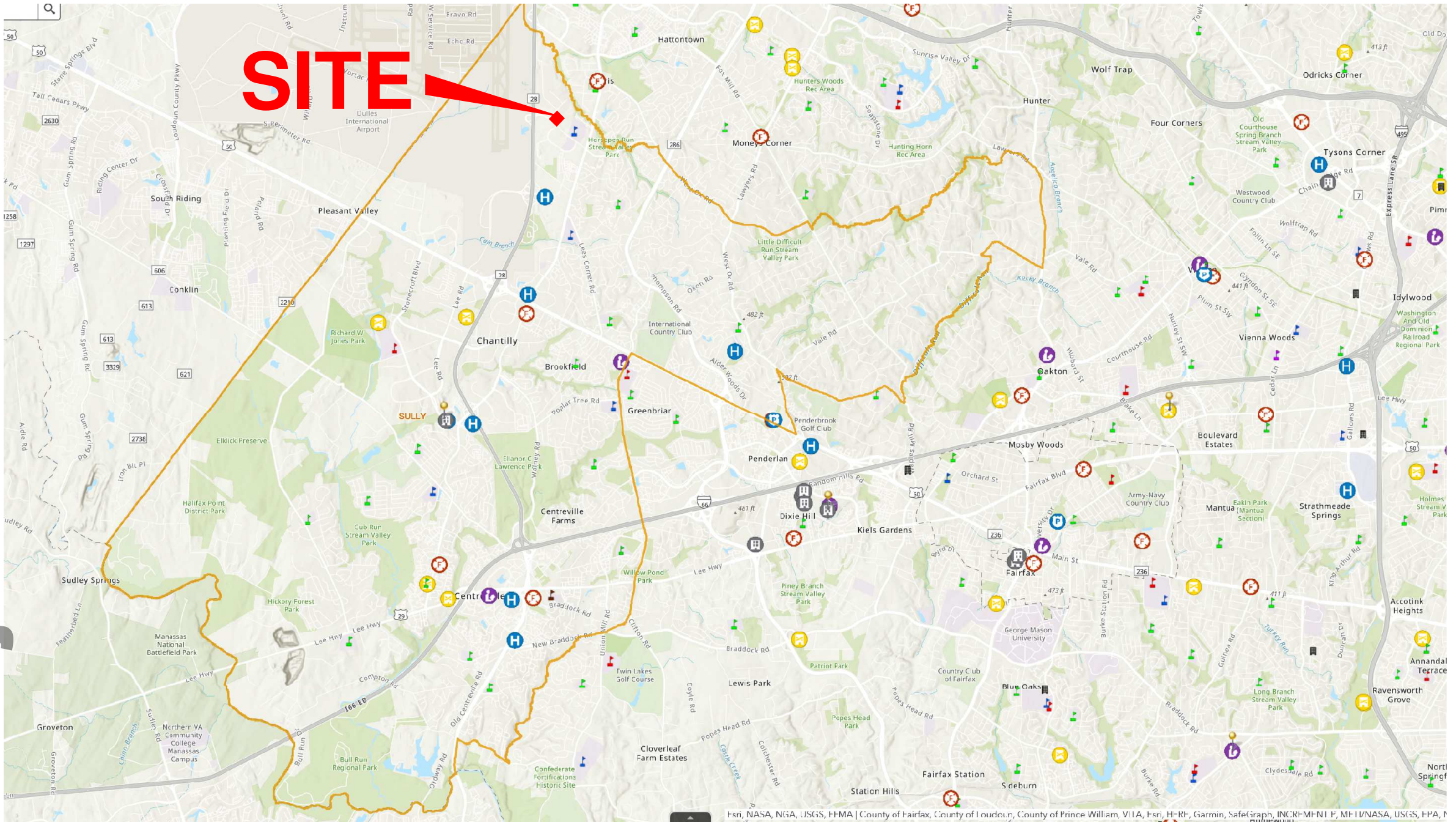
Sheetz

Special Exception
SE 2020-SU-005

Joint Sully District Land Use and Transportation Committee

October 19, 2020

Project Location



Project Location - Sully District

Aerial & Photos

SITE



Location Aerial



Photographs

Zoning



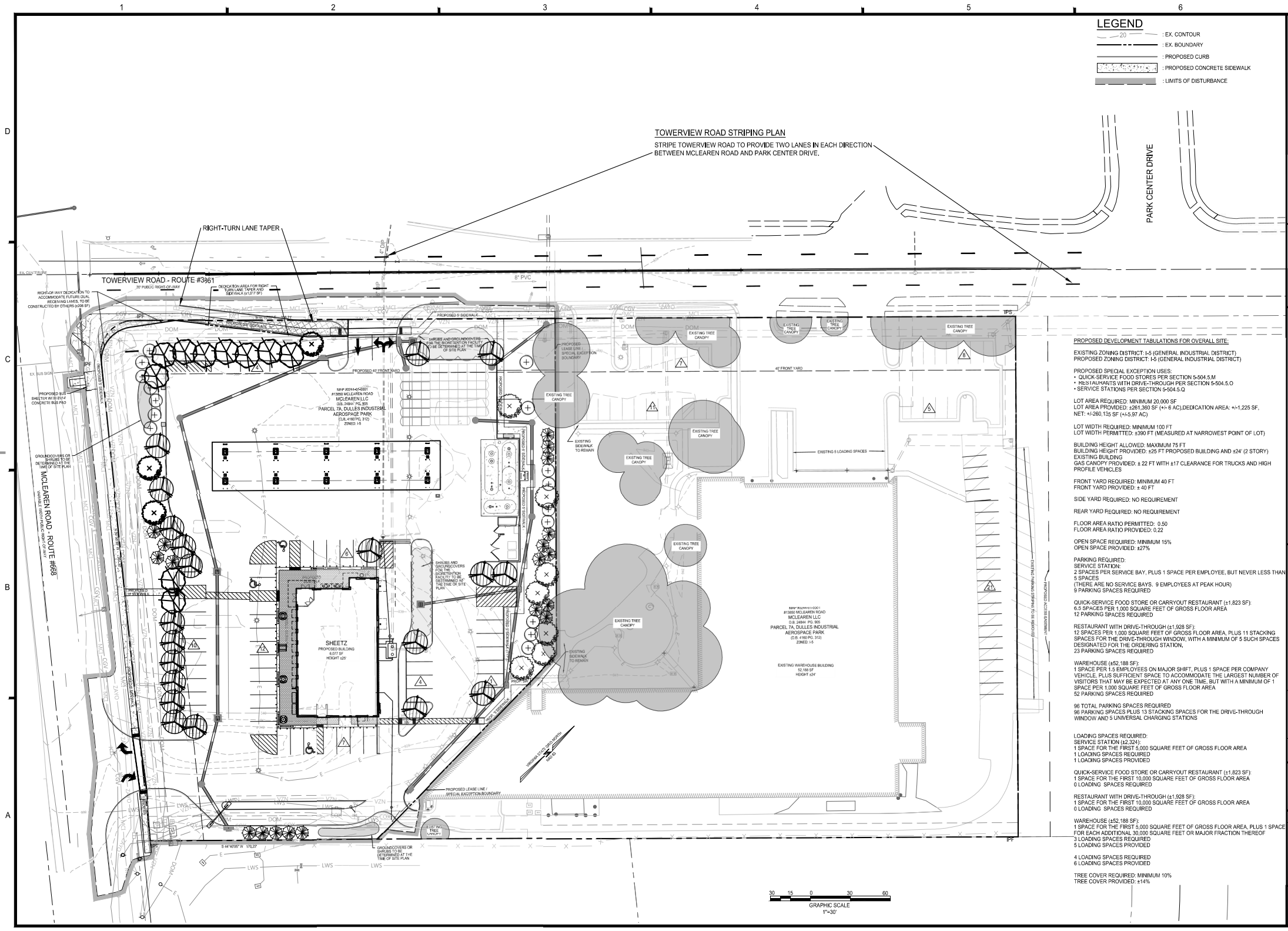
Zoning

Landscape Plan



Overall Plan

with Road Improvements



LEGEND

- - - - - : EX. CONTOUR
- - - - - : EX. BOUNDARY
- - - - - : PROPOSED CURB
- ▨ : PROPOSED CONCRETE SIDEWALK
- ▭ : LIMITS OF DISTURBANCE

TOWERVIEW ROAD STRIPING PLAN
 STRIPE TOWERVIEW ROAD TO PROVIDE TWO LANES IN EACH DIRECTION BETWEEN MCLEAREN ROAD AND PARK CENTER DRIVE.

PROPOSED DEVELOPMENT TABULATIONS FOR OVERALL SITE:

EXISTING ZONING DISTRICT: I-5 (GENERAL INDUSTRIAL DISTRICT)
 PROPOSED ZONING DISTRICT: I-5 (GENERAL INDUSTRIAL DISTRICT)

PROPOSED SPECIAL EXCEPTION USES:

- QUICK-SERVICE FOOD STORES PER SECTION 5-504.5.M
- RESTAURANTS WITH DRIVE-THROUGH PER SECTION 5-504.5.O
- SERVICE STATIONS PER SECTION 5-504.5.A

LOT AREA REQUIRED: MINIMUM 20,000 SF
 LOT AREA PROVIDED: 2,851,380 SF (+/- 6 AC); DEDICATION AREA: +/-1,225 SF.
 NET: +/-260,155 SF (+/-5.97 AC)

LOT WIDTH REQUIRED: MINIMUM 100 FT
 LOT WIDTH PERMITTED: 330 FT (MEASURED AT NARROWEST POINT OF LOT)

BUILDING HEIGHT ALLOWED: MAXIMUM 75 FT
 BUILDING HEIGHT PROVIDED: 25 FT PROPOSED BUILDING AND 42'4" (2 STORY)
 EXISTING BUILDING
 GAS CANOPY PROVIDED: ± 22 FT WITH ±17 CLEARANCE FOR TRUCKS AND HIGH PROFILE VEHICLES

FRONT YARD REQUIRED: MINIMUM 40 FT
 FRONT YARD PROVIDED: ± 40 FT

SIDE YARD REQUIRED: NO REQUIREMENT

REAR YARD REQUIRED: NO REQUIREMENT

FLOOR AREA RATIO PERMITTED: 0.50
 FLOOR AREA RATIO PROVIDED: 0.22

OPEN SPACE REQUIRED: MINIMUM 15%
 OPEN SPACE PROVIDED: ±27%

PARKING REQUIRED:

SERVICE STATION:

- 2 SPACES PER SERVICE BAY, PLUS 1 SPACE PER EMPLOYEE, BUT NEVER LESS THAN 5 SPACES
- (THERE ARE NO SERVICE BAYS. 9 EMPLOYEES AT PEAK HOUR)
- 9 PARKING SPACES REQUIRED

QUICK-SERVICE FOOD STORE OR CARRYOUT RESTAURANT (±1,823 SF):

- 6.5 SPACES PER 1,000 SQUARE FEET OF GROSS FLOOR AREA
- 12 PARKING SPACES REQUIRED

RESTAURANT WITH DRIVE-THROUGH (±1,028 SF):

- 12 SPACES PER 1,000 SQUARE FEET OF GROSS FLOOR AREA, PLUS 11 STACKING SPACES FOR THE DRIVE-THROUGH WINDOW, WITH A MINIMUM OF 5 SUCH SPACES DESIGNATED FOR THE ORDERING STATION.
- 23 PARKING SPACES REQUIRED

WAREHOUSE (±52,188 SF):

- 1 SPACE PER 1.5 EMPLOYEES ON MAJOR SHIFT, PLUS 1 SPACE PER COMPANY VEHICLE, PLUS SUFFICIENT SPACE TO ACCOMMODATE THE LARGEST NUMBER OF VISITORS THAT MAY BE EXPECTED AT ANY ONE TIME, BUT WITH A MINIMUM OF 1 SPACE PER 1,000 SQUARE FEET OF GROSS FLOOR AREA
- 52 PARKING SPACES REQUIRED

96 TOTAL PARKING SPACES REQUIRED
 96 PARKING SPACES PLUS 13 STACKING SPACES FOR THE DRIVE-THROUGH WINDOW AND 5 UNIVERSAL CHARGING STATIONS

LOADING SPACES REQUIRED:

SERVICE STATION (±2,324):

- 1 SPACE FOR THE FIRST 5,000 SQUARE FEET OF GROSS FLOOR AREA
- 1 LOADING SPACES REQUIRED
- 1 LOADING SPACES PROVIDED

QUICK-SERVICE FOOD STORE OR CARRYOUT RESTAURANT (±1,823 SF):

- 1 SPACE FOR THE FIRST 10,000 SQUARE FEET OF GROSS FLOOR AREA
- 0 LOADING SPACES REQUIRED

RESTAURANT WITH DRIVE-THROUGH (±1,028 SF):

- 1 SPACE FOR THE FIRST 10,000 SQUARE FEET OF GROSS FLOOR AREA
- 0 LOADING SPACES REQUIRED

WAREHOUSE (±52,188 SF):

- 1 SPACE FOR THE FIRST 5,000 SQUARE FEET OF GROSS FLOOR AREA, PLUS 1 SPACE FOR EACH ADDITIONAL 30,000 SQUARE FEET OR MAJOR FRACTION THEREOF
- 3 LOADING SPACES REQUIRED
- 5 LOADING SPACES PROVIDED

4 LOADING SPACES REQUIRED
 6 LOADING SPACES PROVIDED

TREE COVER REQUIRED: MINIMUM 10%
 TREE COVER PROVIDED: ±14%

christopher consultants
 9900 main st
 suite 400
 fairfax, va 22031
 engineering • surveying • land planning



SHEETZ - MCLEAREN ROAD
 SE 2020-SU-004
 SPECIAL EXCEPTION PLAN
 SULLY DISTRICT, FAIRFAX COUNTY, VIRGINIA

NO.	DATE	DESCRIPTION
1	2020-06-24	REVISION PER COUNTY COMMENTS
2	2020-12-18	REVISION PER COUNTY COMMENTS

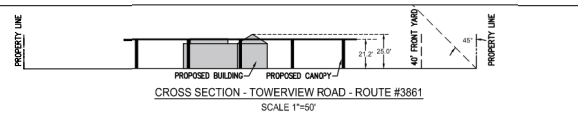
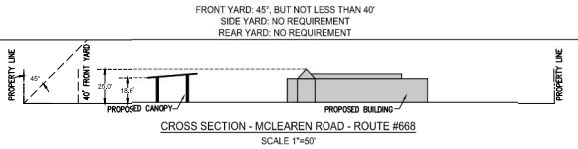
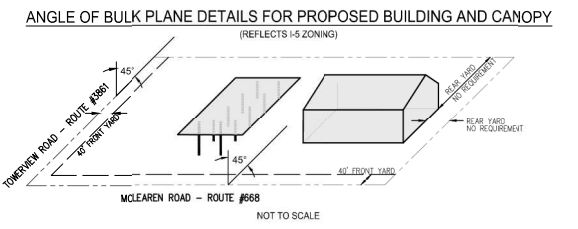
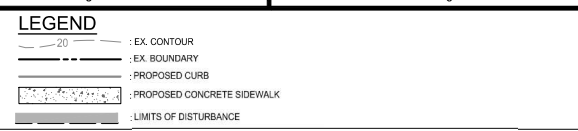
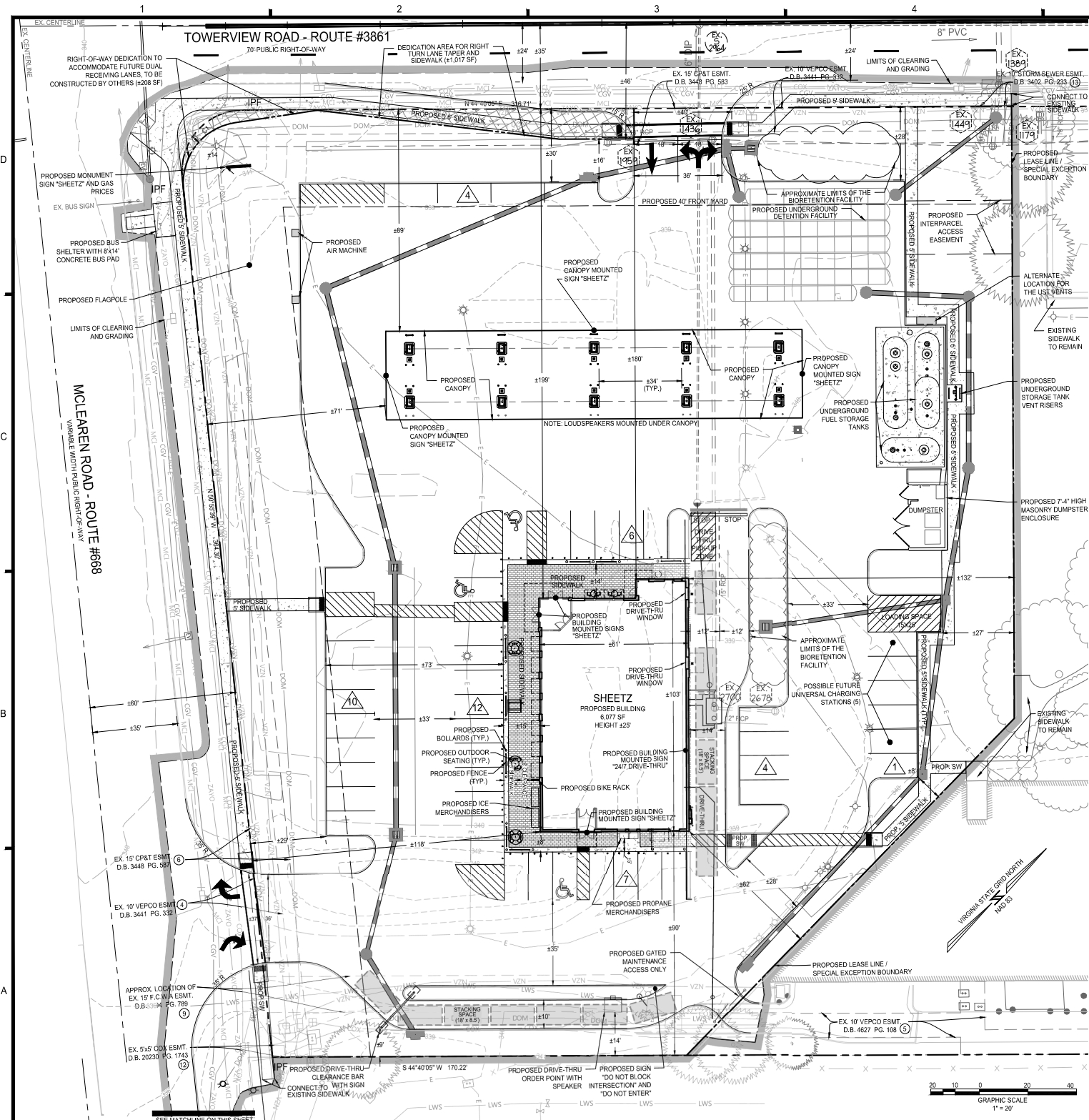
PROJECT No.: 19138.001.00
 DRAWING No.: 109593
 DATE: 2019/12/10
 DESIGN: TTJM
 DRAWN: TTJM
 CHECKED: TT

OVERALL PLAN WITH ROAD IMPROVEMENTS

SHEET No. **05A**

2020-SU-005

Site Plan



PROPOSED DEVELOPMENT TABULATIONS:

EXISTING ZONING DISTRICT: I-5 (GENERAL INDUSTRIAL DISTRICT)
PROPOSED ZONING DISTRICT: I-5 (GENERAL INDUSTRIAL DISTRICT)

PROPOSED SPECIAL EXCEPTION USES:

- QUICK-SERVICE FOOD STORES PER SECTION 5-504.5.M
- RESTAURANTS WITH DRIVE-THROUGH PER SECTION 5-504.5.O
- SERVICE STATIONS PER SECTION 5-504.5.Q

LOT AREA REQUIRED: MINIMUM 20,000 SF
LOT AREA PROVIDED: +/-17,253 SF (+/-2.69 AC), DEDICATION AREA: +/-1,225 SF, NET: +/-16,028 SF (+/-2.66 AC)

LOT WIDTH REQUIRED: MINIMUM 100 FT
LOT WIDTH PERMITTED: +/- 340 FT (ALONG TOWERVIEW ROAD), +/- 389 FT (ALONG MCLEAREN ROAD)

BUILDING HEIGHT ALLOWED: MAXIMUM 75 FT
BUILDING HEIGHT PROVIDED: +/-25 FT
GAS CANOPY PROVIDED: +/- 22 FT WITH +/-17 CLEARANCE FOR TRUCKS AND HIGH PROFILE VEHICLES

FRONT YARD REQUIRED: MINIMUM 40 FT
FRONT YARD PROVIDED: +/- 40 FT

SIDE YARD REQUIRED: NO REQUIREMENT

REAR YARD REQUIRED: NO REQUIREMENT

FLOOR AREA RATIO PERMITTED: 0.50
FLOOR AREA RATIO PROVIDED: 0.052

OPEN SPACE REQUIRED: MINIMUM 15%
OPEN SPACE PROVIDED: +/-25%

PARKING REQUIRED:

SERVICE STATION:
2 SPACES PER SERVICE BAY, PLUS 1 SPACE PER EMPLOYEE, BUT NEVER LESS THAN 5 SPACES
(THERE ARE NO SERVICE BAYS, 9 EMPLOYEES AT PEAK HOUR)
9 PARKING SPACES REQUIRED

QUICK-SERVICE FOOD STORE OR CARRYOUT RESTAURANT (+/-1,928 SF):
0.5 SPACES PER 1,000 SQUARE FEET OF GROSS FLOOR AREA
12 PARKING SPACES REQUIRED

RESTAURANT WITH DRIVE-THROUGH (+/-1,928 SF):
12 SPACES PER 1,000 SQUARE FEET OF GROSS FLOOR AREA, PLUS 11 STACKING SPACES FOR THE DRIVE-THROUGH WINDOW, WITH A MINIMUM OF 6 SUCH SPACES DESIGNATED FOR THE ORDERING STATION.
23 PARKING SPACES REQUIRED

44 TOTAL PARKING SPACES REQUIRED
44 PARKING SPACES PLUS 13 STACKING SPACES PROVIDED AND 5 UNIVERSAL CHARGING STATIONS

LOADING SPACES REQUIRED:

SERVICE STATION (+/-324):
1 SPACE FOR THE FIRST 5,000 SQUARE FEET OF GROSS FLOOR AREA
1 LOADING SPACES REQUIRED

QUICK-SERVICE FOOD STORE OR CARRYOUT RESTAURANT (+/-1,928 SF):
1 SPACE FOR THE FIRST 10,000 SQUARE FEET OF GROSS FLOOR AREA
0 LOADING SPACES REQUIRED

RESTAURANT WITH DRIVE-THROUGH (+/-1,928 SF):
1 SPACE FOR THE FIRST 10,000 SQUARE FEET OF GROSS FLOOR AREA
0 LOADING SPACES REQUIRED

1 LOADING SPACES REQUIRED
1 LOADING SPACES PROVIDED

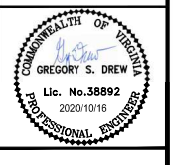
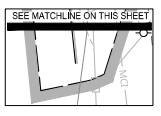
TREE COVER REQUIRED: MINIMUM 10%
TREE COVER PROVIDED: +/-10%

THE APPROXIMATE LOCATION OF FREE STANDING GAS PRICE SIGN IS SHOWN ON THE PLAN, THE BUILDING SIGNS WILL BE PROVIDED DURING THE SITE PLAN PROCESS.

MODIFICATIONS REQUESTED:

- * A MODIFICATION IS BEING REQUESTED FOR ENTRANCE SPACING BETWEEN THE PROPOSED ENTRANCE OFF MCLEAREN ROAD AND THE ADJACENT USE TO THE SOUTH ON TM 24-(11)2. ENTRANCE FOR TABLE F-26 OF THE VDOT ROAD DESIGN MANUAL TO PERMIT THE ENTRANCE SPACING FROM EXISTING DISTANCE APPROXIMATELY OF 116' TO THE PROPOSED ENTRANCE SPACING OF APPROXIMATELY 139'. THE VDOT REQUIREMENT IS 250'. THE PROPOSED ENTRANCE LOCATION IS AN INCREASE OVER EXISTING CONDITION AND IS IMPROVING THE ENTRANCE SPACING.

WAIVER IS BEING REQUESTED FOR INTERPARCEL ACCESS CONNECTION TO CUBE SMART AS PER SECTION 17-201.3B.



SHEETZ - MCLEAREN ROAD
SE 2020-SU-004
SPECIAL EXCEPTION PLAN
SULLY DISTRICT, FAIRFAX COUNTY, VIRGINIA

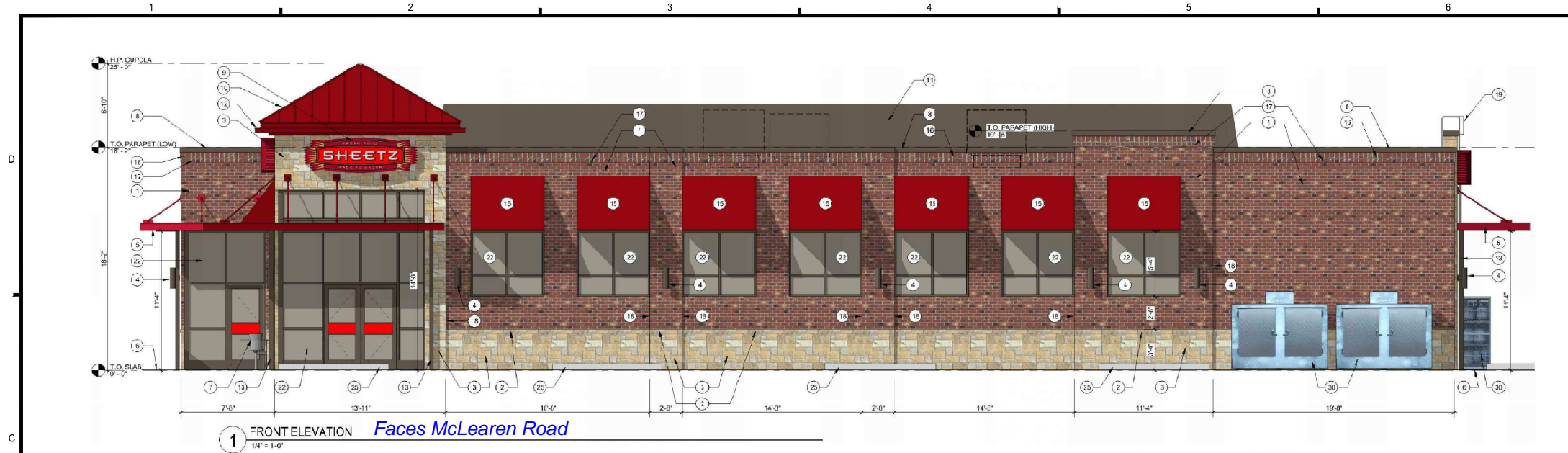
NO.	DATE	DESCRIPTION
1	2020-05-24	REVISION PER COUNTY COMMENTS
2	2020-12-18	REVISION PER COUNTY COMMENTS

PROJECT No.: 19138.001.00
DRAWING No.: 109593
DATE: 2019/12/10
DESIGN: JM
DRAWN: JM
CHECKED: TT

SHEET TITLE:
SPECIAL EXCEPTION
SHEET No.
05

2020-SU-005

Building Elevations



1 FRONT ELEVATION *Faces McLearn Road*
1/4" = 1'-0"



2 LEFT ELEVATION *Faces Towerview Road*
1/4" = 1'-0"



- EXTERIOR ELEVATION KEYNOTES:**
- 1 BRICK VENEER (COLOR = ST. WINDSOR)
 - 2 CAST STONE SIL. (COLOR = CRAB ORCHARD)
 - 3 ANCHORED CAST STONE MASONRY VENEER (COLOR = CRAB ORCHARD)
 - 4 EXTERIOR LIGHT FIXTURE (COLOR = DARK BRONZE). SEE ELEC DWGS
 - 5 ARCHITECTURAL CANOPY, PREMIUM TWO-COAT KYNAR FINISH (COLOR = REGAL RED)
 - 6 BRICK PAVER WALKWAY
 - 7 OUTDOOR SEATING
 - 8 METAL COPING (COLOR = DARK BRONZE)
 - 9 WALL MOUNTED SIGN, INTERNALLY ILLUMINATED. SEE SHEET A201.
 - 10 STANDING SEAM METAL ROOF (COLOR = CARDINAL RED)
 - 11 ROOF EQUIPMENT SCREEN (COLOR = DARK BRONZE)
 - 12 GUTTER (COLOR = RED)
 - 13 DOWNSPOUT (COLOR = DARK BRONZE)
 - 14 DRIVE-THRU SERVICE WINDOW
 - 15 AWNING - COUNTER FLASHING WIRELET @ TOP OF EACH AWNING (TYP.) (COLOR = DARK RED, FRAME PAINTED DARK BRONZE)
 - 16 BRICK SOLDIER COURSE (COLOR = ST. WINDSOR)
 - 17 BRICK ROWLOCK COURSE (COLOR = ST. WINDSOR)
 - 18 CONTROL JOINT (COLOR = RUSTIC BRICK)
 - 19 STEEL ROOF LADDER AND CRANKY POST (COLOR = DARK BRONZE)
 - 20 STANDARD THROUGH WALL SCUPPER W/ CONDUCTOR HEAD & DOWNSPOUT (COLOR = DARK BRONZE)
 - 21 OVERTFLOW SCUPPER
 - 22 ALUMINUM STOREFRONT SYSTEM
 - 23 EXTERIOR HOSE BIB
 - 24 GAS LINE (REFER TO PLUMBING DRAWINGS)
 - 25 CONCRETE PLANTER
 - 26 ELECTRICAL EQUIPMENT (REFER TO ELECTRICAL DRAWINGS)
 - 27 HM DOOR AND FRAME
 - 28 EMERGENCY WATER CONNECTION, REFER TO PLUMBING DRAWINGS
 - 29 SEAMLESS ALUM. PANEL SYSTEM W/ EXPOSED FASTENERS (COLOR = DARK BRONZE)
 - 30 STORE EQUIPMENT
 - 31 METAL FASKA (COLOR = DARK BRONZE)

christopher consultants
 9900 main st
 suite 400
 fairfax, va 22031
 engineering surveying land planning

SHEETZ - MCLEAREN ROAD
 SPECIAL EXCEPTION PLAT
 SULLY DISTRICT, FAIRFAX COUNTY, VIRGINIA

MARK	DATE	DESCRIPTION

PROJECT No.: 19158.001.00
 DRAWING No.: 109553
 DATE: 2019/12/10
 DESIGN: JM
 DRAWING: JM
 CHECKED: GD

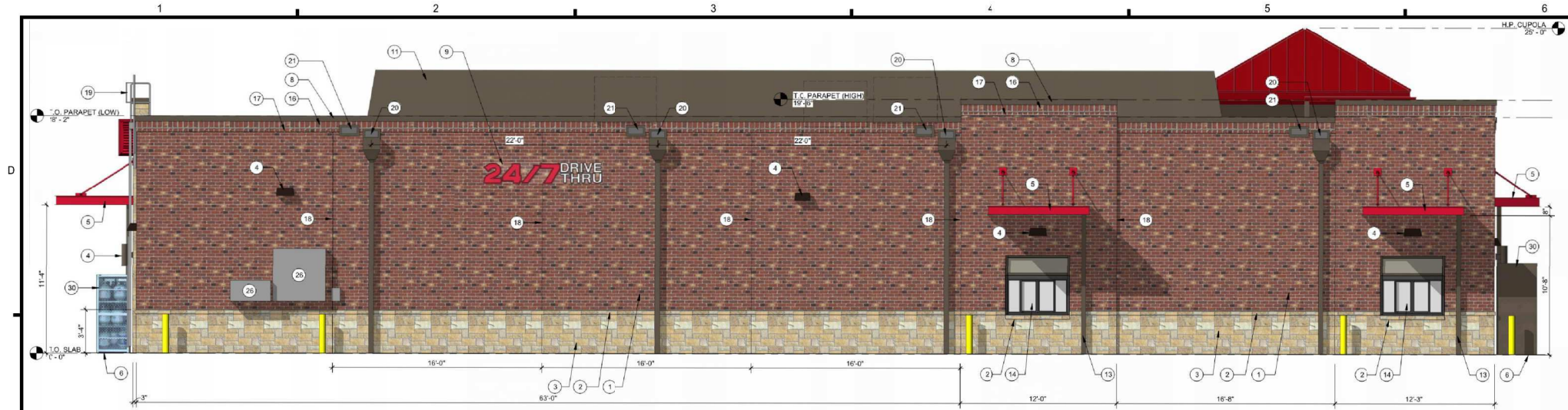
SHEET TITLE:
BUILDING ELEVATIONS

SHEET No.: **09**

NOTE: THESE DRAWINGS ARE CONCEPTUAL IN NATURE AND ARE INTENDED TO ILLUSTRATE THE GENERAL CHARACTER OF THE BUILDINGS, STRUCTURES, THE QUALITY OF CONSTRUCTION AND MATERIALS. FINAL DESIGN WILL BE DETERMINED AT THE TIME OF THE SITE PLAN SUBMISSION.

2020-SU-005

Building Elevations



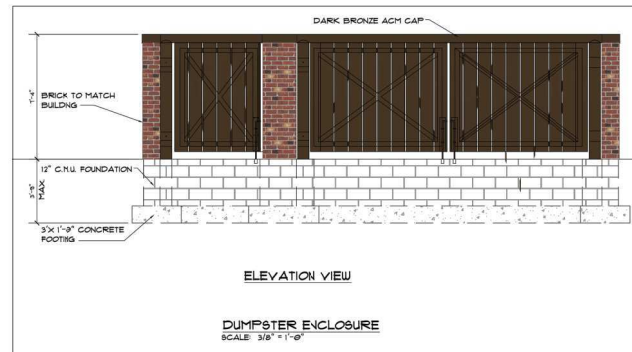
3 REAR ELEVATION
1/4" = 1'-0"
Faces Warehouse



4 RIGHT ELEVATION
1/4" = 1'-0"
Faces CubeSmart

EXTERIOR ELEVATION KEYNOTES:

- 1 BRICK VENEER (COLOR = ST. WINDSOR)
- 2 CAST STONE SILL (COLOR = CRAB ORCHARD)
- 3 ANCHORED CAST STONE MASONRY VENEER (COLOR = CRAB ORCHARD)
- 4 EXTERIOR LIGHT FIXTURE (COLOR = DARK BRONZE). SEE ELEC DWGS
- 5 ARCHITECTURAL CAVOITY, PREMIUM TWO-COAT KYNAR FINISH (COLOR = RESAL RED)
- 6 BRICK PAVER WALKWAY
- 7 OUTDOOR SEATING
- 8 METAL COPING (COLOR = DARK BRONZE))
- 9 WALL MOUNTED SIGN, INTERNALLY ILLUMINATED. SEE SHEET A201.
- 10 STANDING SEAM METAL ROOF (COLOR = CARDINAL RED)
- 11 ROOF EQUIPMENT SCREEN (COLOR = DARK BRONZE)
- 12 GUTTER (COLOR = RED)
- 13 DOWNSPOUT (COLOR = DARK BRONZE)
- 14 DRIVE-THRU SERVICE WINDOW
- 15 AWNING - COUNTER FLASHING W/REGLET @ TOP OF EACH AWNING (TYP.) (COLOR = DARK RED, FRAME PAINTED DARK BRONZE)
- 16 BRICK SOLDIER COURSE (COLOR = ST. WINDSOR)
- 17 BRICK ROWLOCK COURSE (COLOR = ST. WINDSOR)
- 18 CONTROL JOINT (COLOR = RUSTIC BRICK)
- 19 STEEL ROOF LADDER AND CRANKY POST (COLOR = DARK BRONZE)
- 20 STANDARD THROUGH WALL SCUPPER W/ CONDUCTOR HEAD & DOWNSPOUT (COLOR = DARK BRONZE)
- 21 OVERFLOW SCUPPER
- 22 ALUMINUM STOREFRONT SYSTEM
- 23 EXTERIOR HOSE BIBB
- 24 GAS LINE (REFER TO PLUMBING DRAWINGS)
- 25 CONCRETE PLANTER
- 26 ELECTRICAL EQUIPMENT (REFER TO ELECTRICAL DRAWINGS)
- 27 HM DOOR AND FRAME
- 28 EMERGENCY WATER CONNECTION. REFER TO PLUMBING DRAWINGS
- 29 SEAMLESS ALUM. PANEL SYSTEM W/ EXPOSED FASTENERS (COLOR = DARK BRONZE)
- 30 STORE EQUIPMENT
- 31 METAL FASICA (COLOR = DARK BRONZE)



NOTE: THESE DRAWINGS ARE CONCEPTUAL IN NATURE AND ARE INTENDED TO ILLUSTRATE THE GENERAL CHARACTER OF THE BUILDINGS, STRUCTURES, THE QUALITY OF CONSTRUCTION AND MATERIALS. FINAL DESIGN WILL BE DETERMINED AT THE TIME OF THE SITE PLAN SUBMISSION.

MARK	DATE	DESCRIPTION

PROJECT No: 19-38-001.00
DRAWING No: 109563
DATE: 2019/12/10
DESIGN: JM
DRAWN: JM
CHECKED: GD

SHEET TITLE:

BUILDING ELEVATIONS

SHEET No:
09A

Canopy Elevations

Convenience Architecture
and Design P.C.
351 Sheetz Way, Claysburg, PA 16625
phone (814) 239-6013
email kolumbu@sheetz.com
web site www.sheetz.com

PROJECT NAME
**NEW SHEETZ STORE
HERNDON**

Int. of Towerview Road
and McLearn Road
Fairfax County
Virginia

OWNER:
SHEETZ, INC.

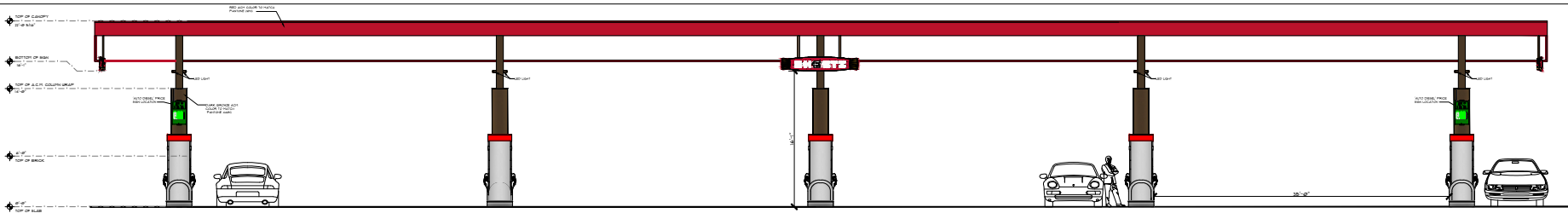
5700 SIXTH AVE.
ALTOONA, PA 16602

CONSULTANT

PROFESSIONAL

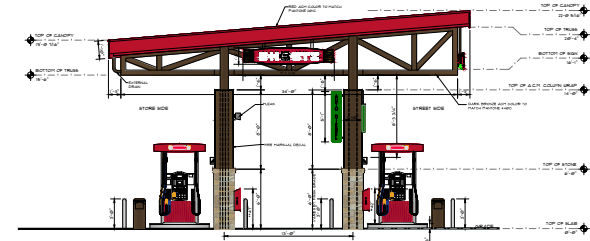
KEYPLAN

ISSUE: **08-19-20**
PROJECT NO:
AUTHOR BY: NMI
REVIEW BY:
SHEET TITLE

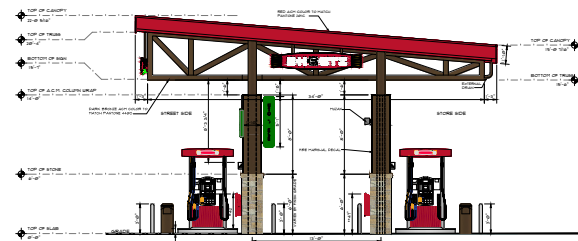


SIDE 'A' STREET SIDE ELEVATION
SCALE 3/16" = 1'-0"

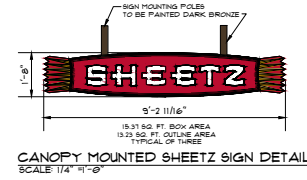
SIDE 'D' STORE SIDE ELEVATION
SCALE 3/16" = 1'-0"



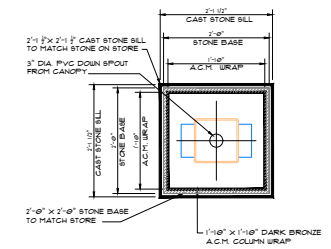
SIDE 'A' LEFT SIDE ELEVATION
SCALE 3/16" = 1'-0"



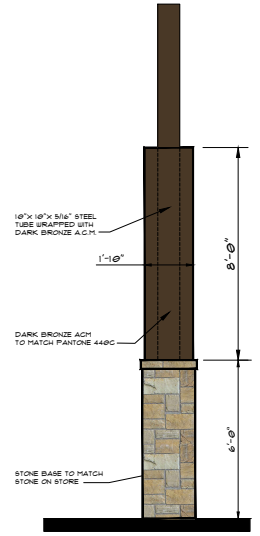
SIDE 'C' RIGHT SIDE ELEVATION
SCALE 3/16" = 1'-0"



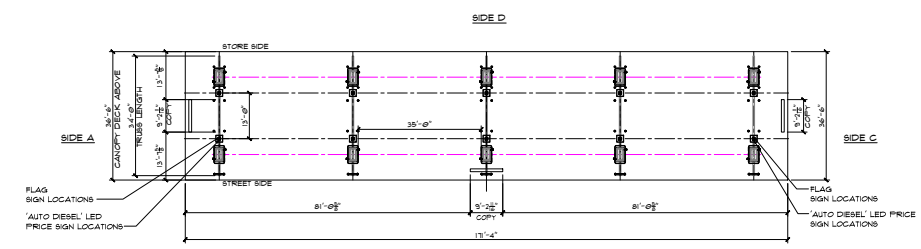
CANOPY MOUNTED SHEETZ SIGN DETAIL
SCALE 1/4" = 1'-0"



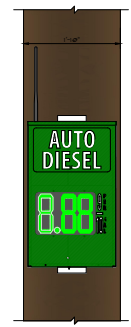
STONE COLUMN BASE DETAIL
SCALE 1/4" = 1'-0"



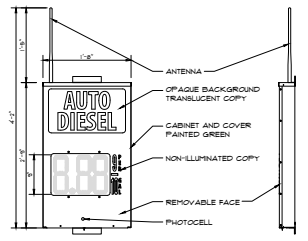
COLUMN ELEVATION
SCALE 1/2" = 1'-0"



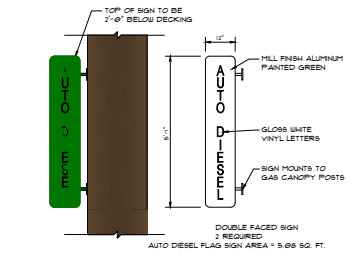
PLAN VIEW FOR LOGO LOCATIONS



"AUTO DIESEL" PRICE SIGN ELEVATION AND DETAIL
SCALE 1/4" = 1'-0"



TOTAL SIGN AREA = 4.58 SQ. FT.
SINGLE FACE CABINET
2 REQUIRED



FLAG SIGN ELEVATION AND DETAIL
SCALE 1/4" = 1'-0"